



S W I F T C R E E K
— E S T A T E S —

THIS BOOK IS TO BE USED FOR ARCHITECTURAL REFERENCE AND MAY BE SUPERCEDED BY SCHEDULE C AND D

DESIGN GUIDELINES



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introduction

These Design Guidelines are written for participating architects, designers and builders of the residential buildings contained within the Swift Creek residential lands, by applicants and owners, and by the approving authorities.

The residential development at Swift Creek will be created in tune with its environment, an estate community of uncompromising quality that will be totally in harmony with the colours, landforms and textures of the western Alberta prairie. This powerful, yet peaceful, open landscape and respect for the natural qualities of the land and weather, together with the stewardship of the environment, will provide a framework for and inspire the overall design of the homes.

The objective of these Design Guidelines is to provide a design framework for each of these residences. Different architects or designers may author each of them, but the overall development should appear as a community that is cohesive, grounded and contextually harmonious with its surroundings.



These Design Guidelines should be read in conjunction with the Swift Creek Lot Owner Information Guide, for additional information on design issues and procedures for following these Design Guidelines.

The text and illustrations that form the body of this Design Guideline document are intended to be easily read by all those participating in the design and approval process. They are not always absolute or prescriptive, but encourage design creativity and diversity within a range of styles.

They also clearly set out the expectations and requirements that will need to be met to gain approval to successfully build a residential component of the Swift Creek community.

Whenever any current national, provincial or municipal zoning regulations and/or bylaws that are in effect pertaining to the Swift Creek property at the time of application for approval conflict with any statement or requirement contained in this document, then the most restrictive of the conflicting provisions will govern.

zoning

The following is a summary of the zoning requirements of the Municipal District of Rocky View No. 44 for Swift Creek.

Zoning District

Residential One (R-1)

Permitted uses

- One (1) single detached Residential dwelling;
- Home based businesses, which are secondary to the residential use of the lot, have no employees that are not permanent residents of the dwelling and which do not change the residential character and external appearance of the land and buildings

Minimum Dwelling Size

225 m² (2,422 sq.ft.) gross building area, excluding basements, garages and accessory buildings

Maximum Built Area (Floor Space Ratio - FSR)

0.15 of total lot area, including garage space and all accessory buildings and the pro-rata portion of basements above grade

Accessory Buildings

120 m² (1,292 sq.ft.) in total area per municipal bylaw for R-1 District

Maximum FSR of Floor(s) above the Main Floor

0.05 of total lot area

Total Site Coverage

0.15 of total lot area, excluding unenclosed patios but including decks more than 0.8 m (2.6 ft) above grade

Maximum Building Height

The zoning by-law currently restricts building height to 10 m (32.8 ft) for the principal dwelling and 5.5 m (18 ft) for accessory buildings. The Developer will apply to the Municipal District for relaxation of the dwelling's building height such that the calculated average height may be a maximum of 10.67 m (35 ft). Prospective lot purchasers should confirm with the Developer as to whether or not the Municipal District has approved this relaxed height restriction.

Front yard setback

- Habitable portion of dwelling 20 m (66 ft)
- Garages (both attached & detached) and all accessory buildings 15 m (49.2 ft)

Side yard setback:

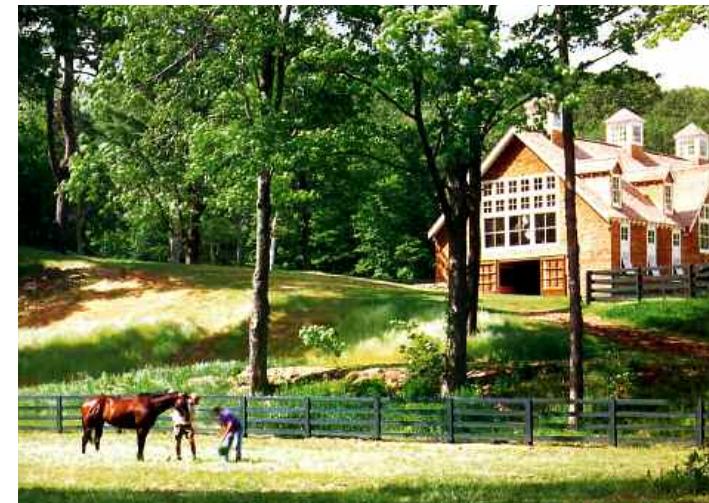
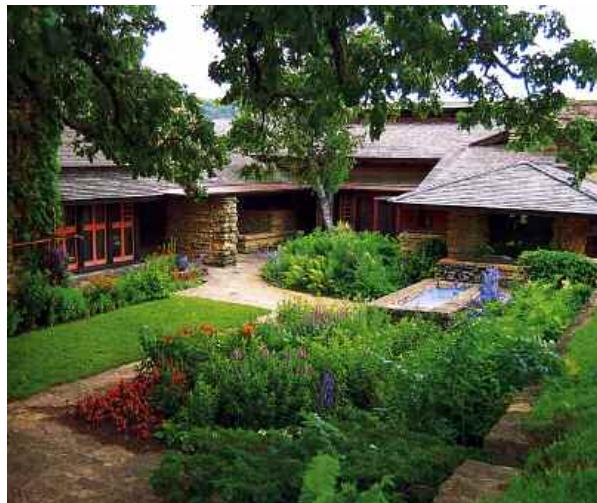
- From any municipal road 45 m (147.6 ft)
- From any internal subdivision road 15 m (49.2 ft)
- Otherwise – All buildings (except as noted) 7.5 m (24.6 ft)
- Certain side yards on specific pie-shaped lots 6 m (19.7 ft)

Rear yard setback (all buildings)

15 m (49.2 ft), except 30 m (98.4 ft) from any road



architectural style



Siting

Every lot at Swift Creek will have its own particular characteristics with regards to size, site elevations, orientation to sun and seasonal winds, existing vegetation and location within the overall development. Consideration of existing conditions should dictate the design, layout and siting of each home. Sloped sites adjacent to the Swift Creek coulee should inspire and promote the creation of plan forms that make use of the sloped landforms and spectacular views, and fit the proposed dwelling "into" the landform.

Building forms on each lot should take into consideration both existing and potential future development on adjacent lots, with respect to privacy, sunlight, views and relationship to building forms on adjoining lots.

All buildings on a lot, including the principal dwelling and garage, but excluding any accessory buildings, will be required to be positioned within the building envelopes which will be specifically established by the Developer for each lot at Swift Creek.

Specific information on these building envelopes and the rules governing their use will be available to all prospective owners and their design consultants.

Built Form

As stated previously, the importance of "grounding" each house to the landform is of primary importance. Thus the individual massing, form and layout of each home should be designed to achieve the maximum visual connection to the land.

House forms should therefore be "footprinted" to their own particular site, with the Rural Estate style being relatively low slung. This may be aided by the choice of materials and details, but is primarily achieved by sensitive siting, massing, room layout and roof forms.

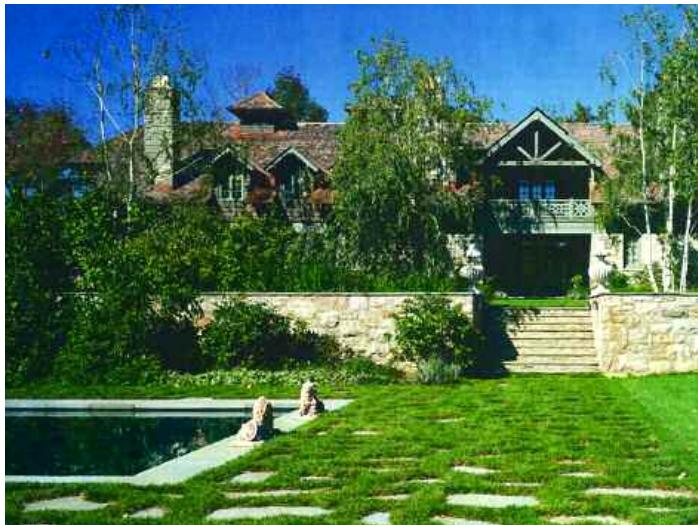
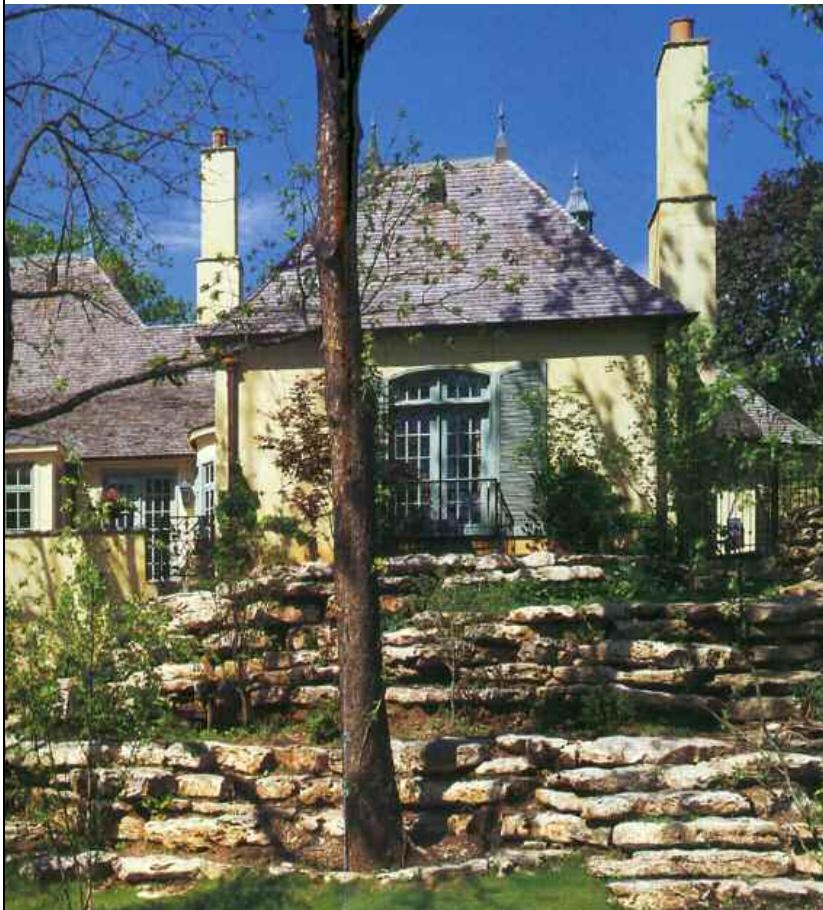
Houses with a living area of less than 3,000 square feet (excluding the basement and garage) are discouraged

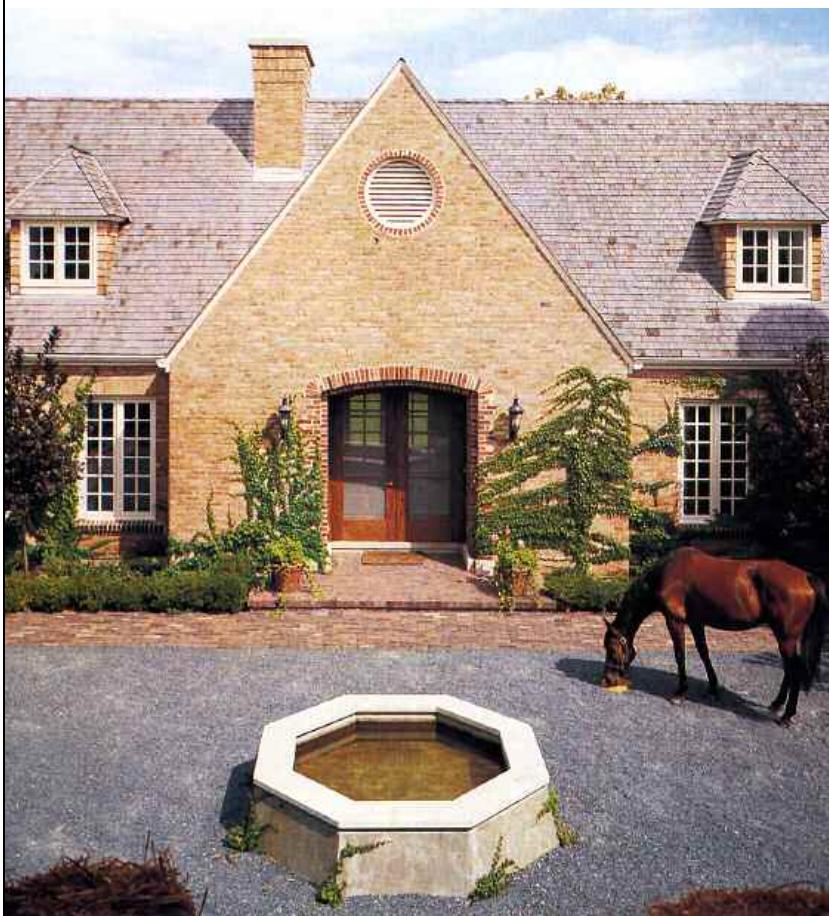
Primary massing should be parallel to the fronting street.

Consideration should be given to siting and massing the house to provide for the maximum cross ventilation in the summer months from the prevailing winds so as to minimize the need for the use of air conditioning systems.

Winter wind protection may be achieved by utilizing strong massing to combat the worst conditions and minimizing openings to the most exposed elevations.

A well balanced home should take its place in the Swift Creek community as if it had always existed there.





Character

The rural character of the land and large lot sizes throughout the Swift Creek development encourage the creation of individual low "estate-like" building forms that are firmly grounded to the western prairie setting, with each residence set into landscaping that enhances this rural environment. Houses should be low-slung in form with maximum height massing of two and a half storeys to encourage a larger footprint.

Picturesque roofscapes and a variety of formal elements such as gables, bay windows, dormers and interesting chimneys will give variety and interest.

The building siting should be informal. Groups or clusters of built-form elements can wrap or enclose outdoor spaces such as courtyards, patios and driving courts.

Breezeways, verandas, porches, and loggia elements should be used to encourage outdoor living. Outdoor fireplaces, BBQs and fire pits can add to the ambience.

The overall impression should be one of a casual, elegant estate lifestyle. Materials should be of high quality, authentic yet natural and relaxed. The use of natural earth tones or deep rich colours will add to the ambience. Bright colours should be avoided.

Diversity

Several architectural styles will be appropriate at Swift Creek. They fall into two general categories: Heritage Country and Rural Estate.

Diversity, originality of individual identity and custom siting are encouraged, while still maintaining a sense of overall design unity throughout the development. Distinct floor plans and elevations must be used throughout the development, and individuality between adjacent properties will be required. No plan may be duplicated in Swift Creek without major changes to exterior elevations.

However, no one home will be allowed to overly dominate the others by means of its size, massing, over-scaled details, materials or colour. Log homes are not permitted.

Architectural Theme

Two primary style themes are envisaged at Swift Creek, each one with its own particular characteristics but each allowing for much design latitude. These are intended as design guides only. Attractive interpretations within these styles are strongly encouraged.

With the intention of achieving this requirement, the Developer has prepared architectural character presentation boards (the "Architectural Character Boards") that illustrate certain recommended styles for these structures.

The Architectural Character Boards will be on display in the Developer's presentation centre at the property, and will be available for inspection through the offices of the Swift Creek Design Coordinator.



HERITAGE COUNTRY



RURAL ESTATE

HERITAGE COUNTRY



RURAL ESTATE



heritage country

This family of styles draws from the heritage of Europe and the north-eastern United States. These include the English Vernacular, French Country and Traditional styles.

Historically, these dwellings were working rural buildings characterized by somewhat informal massing and planning. Often clustered around substantial courtyards and stable yards, they formed a picturesque impression of casual elegance and refined style.

Both gable and hip roof forms were common, usually at a steeper pitch, as were multiple front gables, roof dormers, distinctive chimneys and prominent entry porches. Small tower forms with subtly flared roofs would often be used to add variety, emphasis and interest to the massing. Embellishments included window shutters, roof brackets and more elaborate post and beam supports.

Wall materials were primarily masonry—stone or brick, sometimes with wood or stucco accents or infill. In the case of the Traditional style, painted wood was often the dominant material. Roofing was often shingle or slate.

Windows tended to be vertically proportioned, multi-paned, and often included attractive glazed bay windows and French doors. Colours were natural and subdued and dominated by the natural stone or brick.

Gardens would tend to be formalized, with both hedging and solid garden walls being used to define specific garden areas within the property.

Identifying features

- Steeper pitched roofs
- Multiple front gables
- Windows often break the roof line
- Asymmetrical elevations
- Emphasis on front entry
- Grouped windows
- Casement windows
- Stucco or masonry cladding
- Substantial barge boards
- Prominent chimneys
- Extensive uncoursed stonework

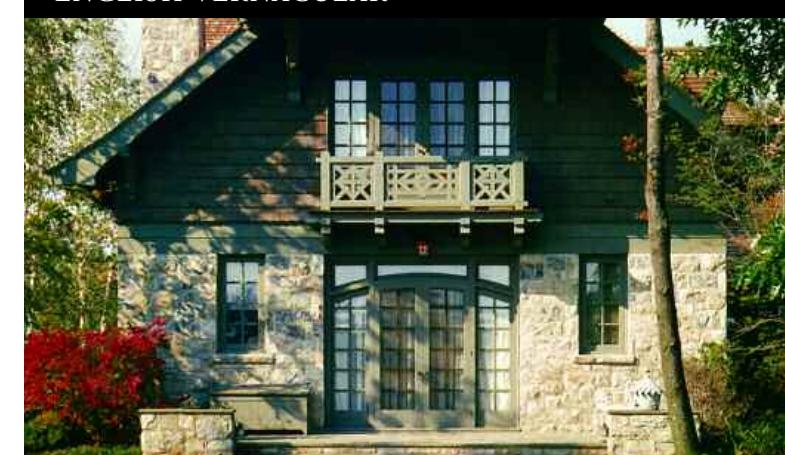
FRENCH COUNTRY



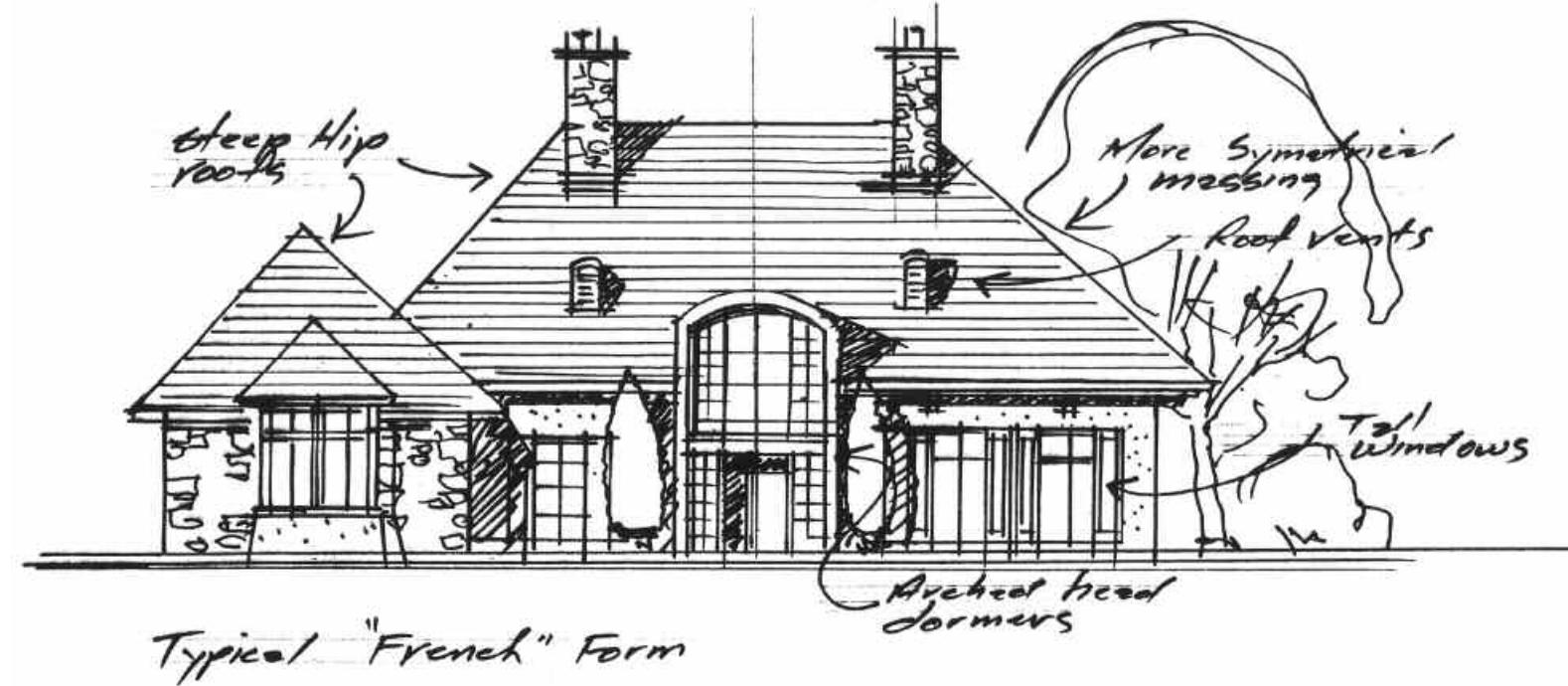
TRADITIONAL



ENGLISH VERNACULAR



1
STYLE



rural estate

This family of styles includes the Ranch or Farmhouse style, Craftsman and the Prairie style.

The "Prairie" style of residential design was developed by Frank Lloyd Wright, often in somewhat more urban situations, but is particularly appropriate for the western prairie setting of Swift Creek.

Rural Estate dwellings evolved as working country homes that are characterized by a low, grounded built-form, shallow pitched roofs and with wood of various types used as the most common exterior surface. Often smaller buildings were grouped together in clusters, with additions accrued over the years giving the house a relaxed, picturesque quality.

These buildings were characterized by their low sprawling forms, and extensive use of wood for wall coverings. Board and batten, horizontal siding and shingles were all common wall surfaces.

Veranda and porch elements were major elements in the composition, as were gables and roof dormers. Breezeways were also a common element, used to connect different portions of the building and provide weather protection.

Windows were typically wood casement type with substantial wood trim, sometimes grouped together in bands to enhance the ground-oriented built form.

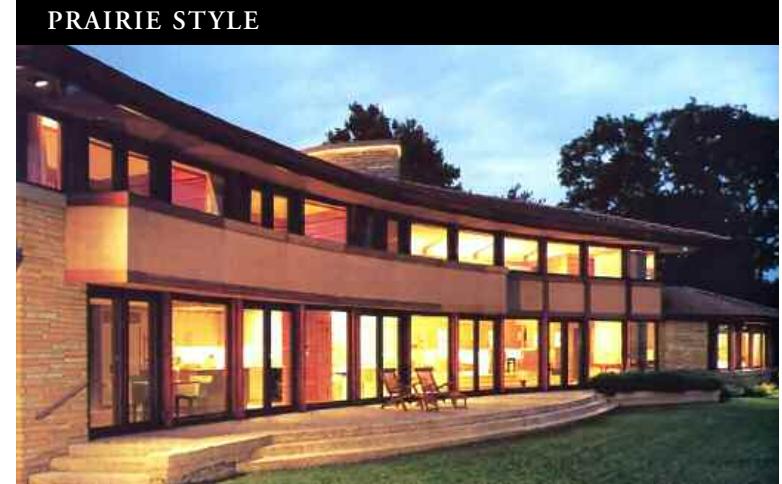
Colours varied from the lighter shades of stained or painted wood siding through weathered greys to rich earth tones.

Landscape treatments were usually simple, neat and tidy with large lawn areas, mature trees and with wood fencing as a prominent element.

Identifying features

- Lower pitched roofs
- Side gables
- Bracketed eaves
- Exposed roof beams
- Rafter tails
- Extensive wood trim
- Veranda and porch elements
- Grouped windows
- Battered masonry bases

PRAIRIE STYLE



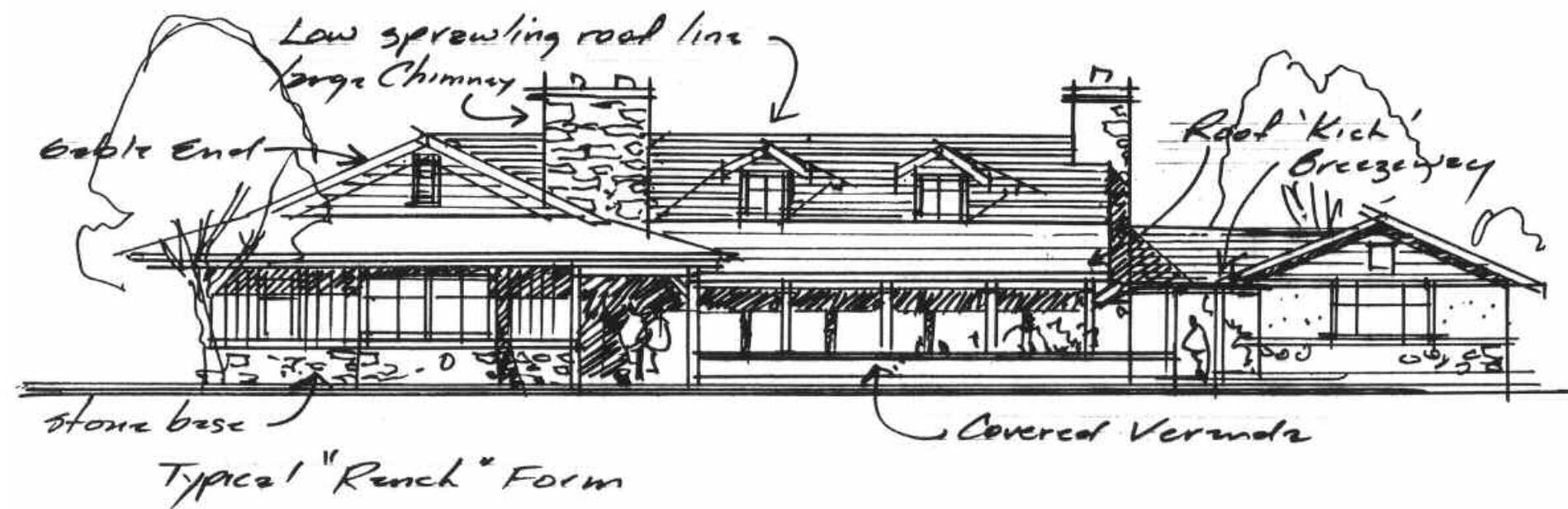
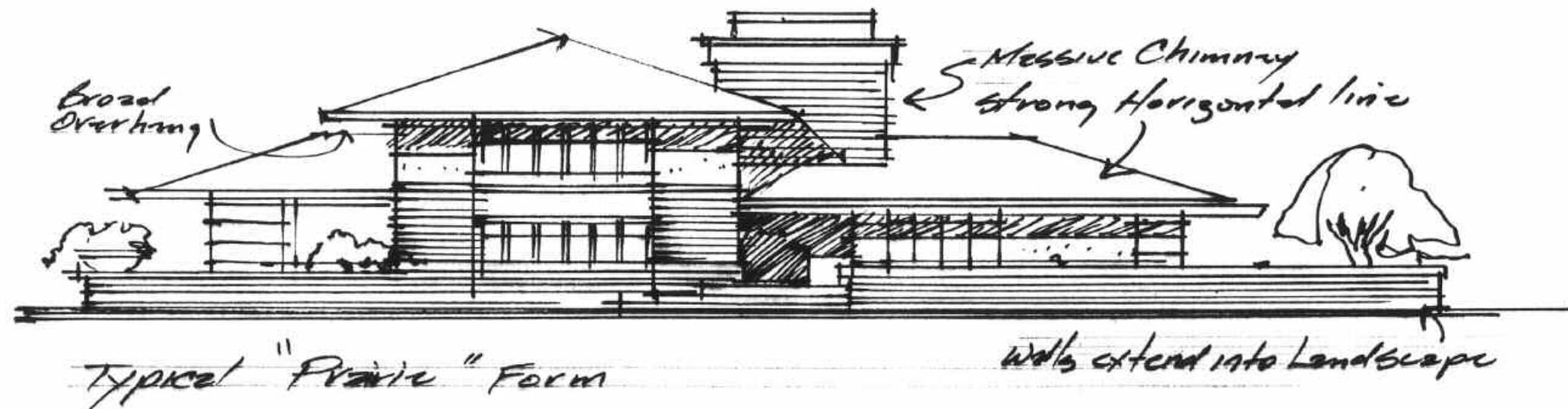
RANCH STYLE



CRAFTSMAN STYLE



2
STYLE



general principles & style



Building Height

The maximum building height in the Swift Creek development will be as set out in Section 2 under "Zoning." In addition to this maximum height, each house should be considered carefully with regard to the preservation of view lines for neighbouring houses.

A maximum height and elevation of two and a half storeys is allowed, excluding basements. However, substantially continuous three storey elevations of wall that include the walk out portions of basements will not be allowed. In such instances, the exterior wall of the walkout portion of the basement level must be recessed a minimum of 1.2 m (3.94 ft) behind the exterior wall plane of the main floor above. If a third storey (excluding the basement level) is proposed it may be built to a maximum area of 55% of the floor below, and shall be entirely contained within the volume of the sloped roof.

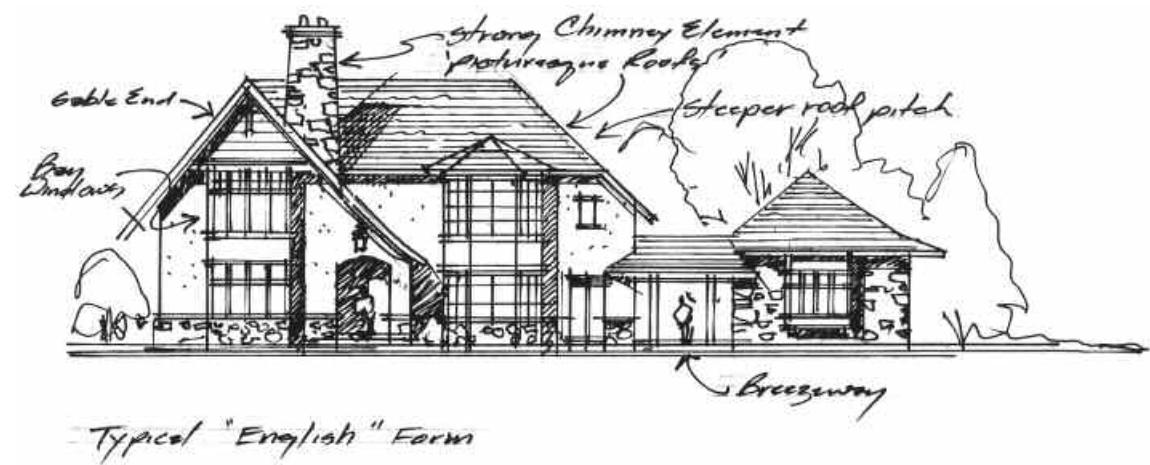
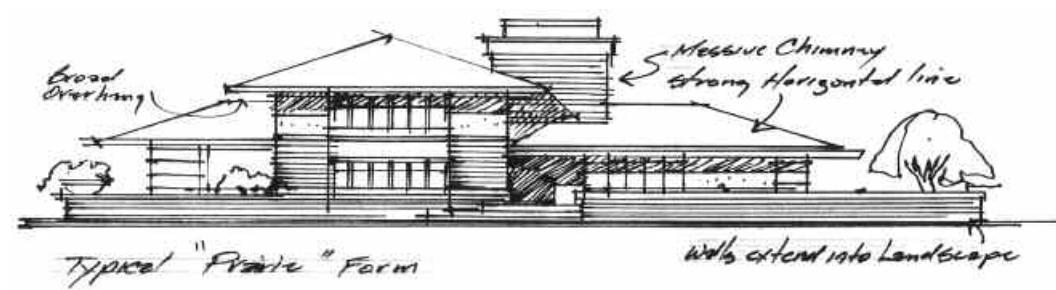
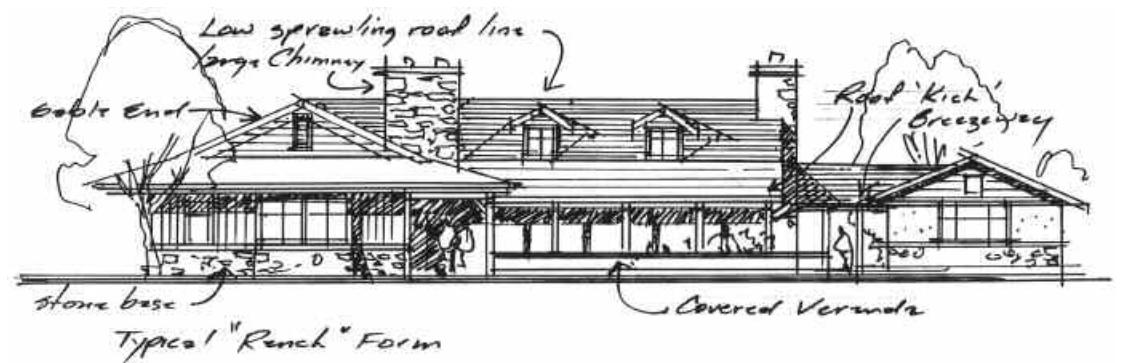
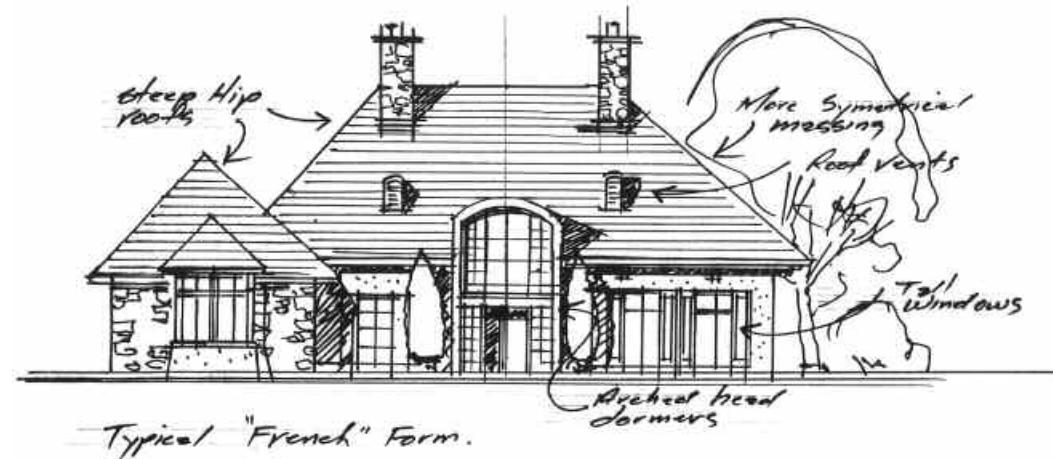
Roof Form

The roof is the dominant element of any house design, and must be used at Swift Creek to "anchor" the house. Thus, simple primary rooflines are required, but gables and dormer windows are also encouraged as major or minor design elements. Long rooflines are encouraged to effectively cap the residential form below, and to work with the natural landforms present in the western prairie setting.

Primary rooflines, like the massing, should be parallel to the fronting street. All roofs must be sloped. No roof shall be steeper than 14 in 12 nor less than 4 in 12.

Flat roofs and mansard roofs are not appropriate at Swift Creek, and are not allowed.

Large overhangs are required for their visual qualities, as well as to act as summer environmental wall and window protection from the hot summer sun. Minimum overhang shall be 0.75 m (2.5 ft). Horizontal soffits are discouraged.



detail design elements

House Base

All houses are to be visually "grounded" to the landscape. This is achieved by massing, rooflines and appropriate detailing.

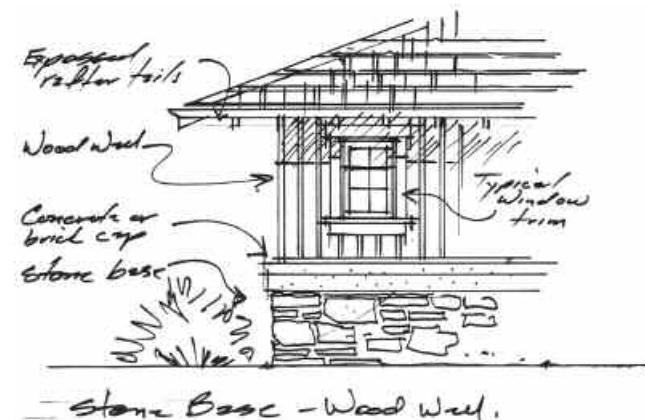
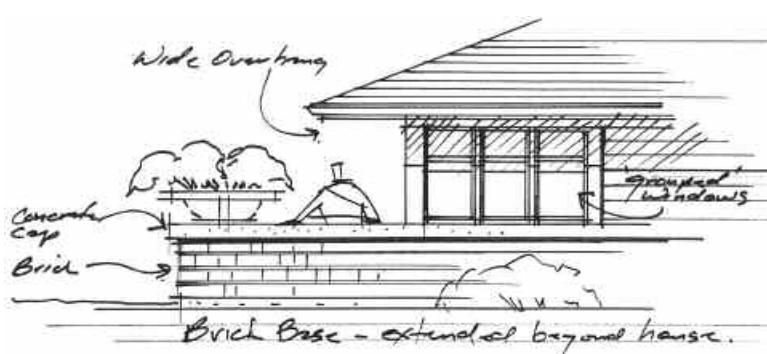
The exterior walls of all homes shall have a continuous base extending around all sides of either the exterior wall of—or planter bed walls adjacent to—the floor of the principal dwelling closest to grade on the street elevation (the "main floor"), as well as the garage structure. All exterior columns at basement level which support either the dwelling or a deck above shall also have a masonry base. The height of this masonry base shall be from finished grade to between 0.6 m (2 ft) and 1 m (3.3 ft), depending on window sill heights. The minimum height will mean that ground floor windows with sills at an average height will either rest directly on or be "let in" to the base. This masonry base must continue around on side and rear elevations, up to the point where either the finished grade slopes noticeably lower, or retaining walls are used, to allow for basement level walkouts. This base is a deliberate design detail that

enhances visual interest and "sets down" the house into its site. The face of the masonry base shall extend a minimum of 75 mm (3 in) proud of the wall above.

The base may be sloped (battered) to enhance the feeling of stability and connectivity to the grade.

The base material shall extend down to a minimum depth of 15 cm (6 in) below grade for the total perimeter of its required length. In the event that any particular house is otherwise faced with stone, then the base material shall be applied as above.

Appropriately integrated wing walls, retaining walls, stairs, steps and planters may also be considered as a means of providing a transition from house to grade.

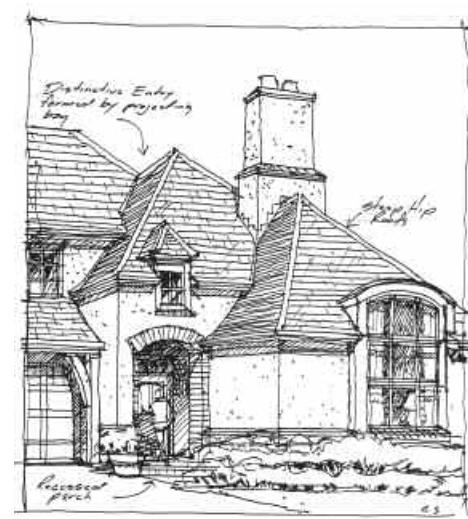


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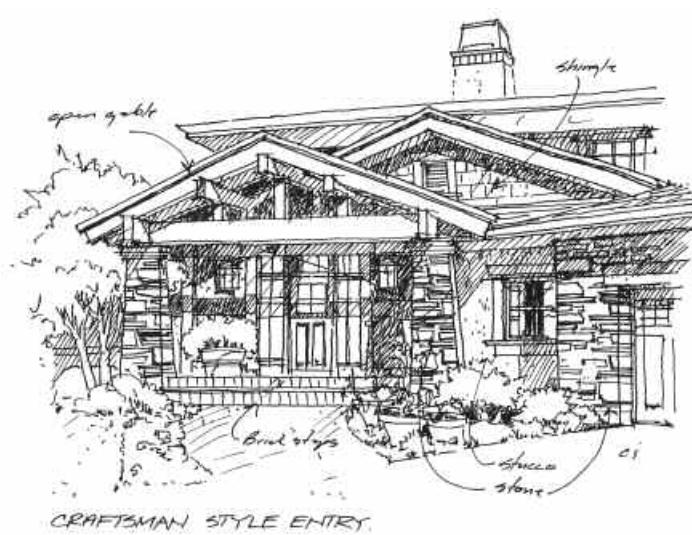
Primary Entry

The primary entry to the dwelling shall be defined and articulated by either a roofed and well-considered porch, recessed alcove, bay, veranda or sloped roof so that it is distinctive and easily seen by day or night when viewed from the fronting roadway. It shall provide appropriate shelter from inclement weather for those using the entrance. This element shall not be over-scaled, nor contain elements that are visually out of place (such as two-storey columns).

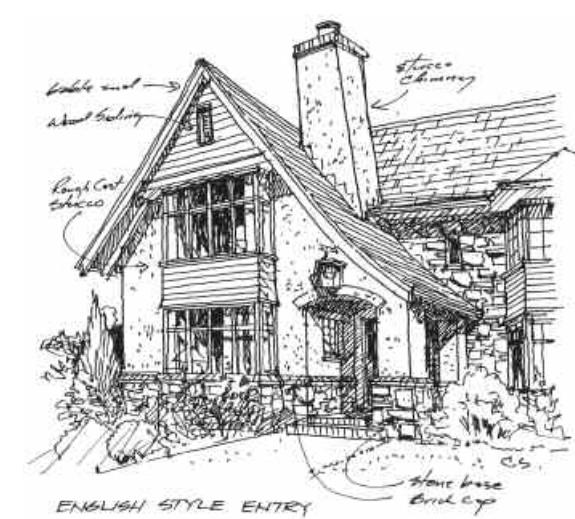
The primary entry foyer level shall not be located more than 0.9 m (3 ft) above the average finished grade within 3 m (10 ft) of the entry door.



FRENCH STYLE ENTRY



CRAFTSMAN STYLE ENTRY



ENGLISH STYLE ENTRY

Patios & Attached Conservatories

Front and/or rear patios and loggias may be incorporated to give weather protection to the house, and to act as outdoor social gathering spaces.

An integrated conservatory which is delightfully designed and detailed as part of the overall composition may also be incorporated to provide an indoor/outdoor room for use in all but the most severe weather.

Proprietary kit sunrooms or aluminium and glass "add-on" structures, including prefabricated greenhouses, are not allowed.

Skylights

Skylights may be used where incorporated into roof forms on appropriately facing roof slopes. Skylight framing shall match the windows of the dwelling.

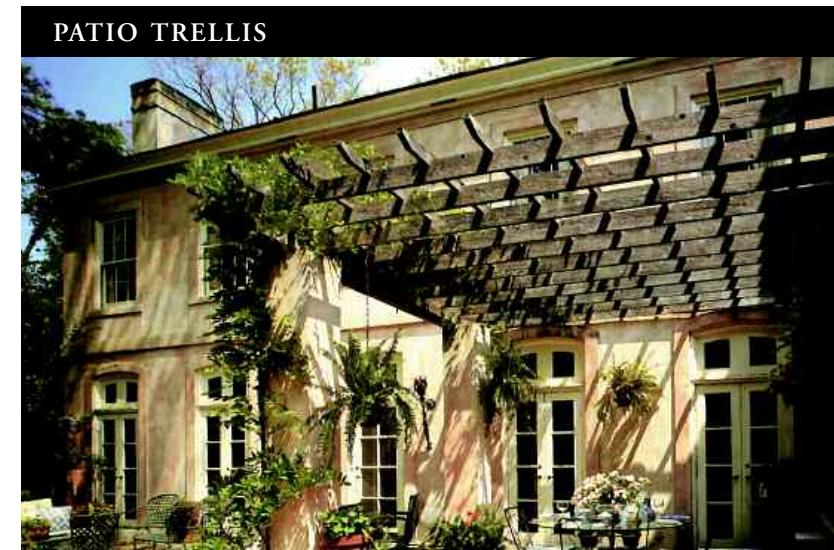
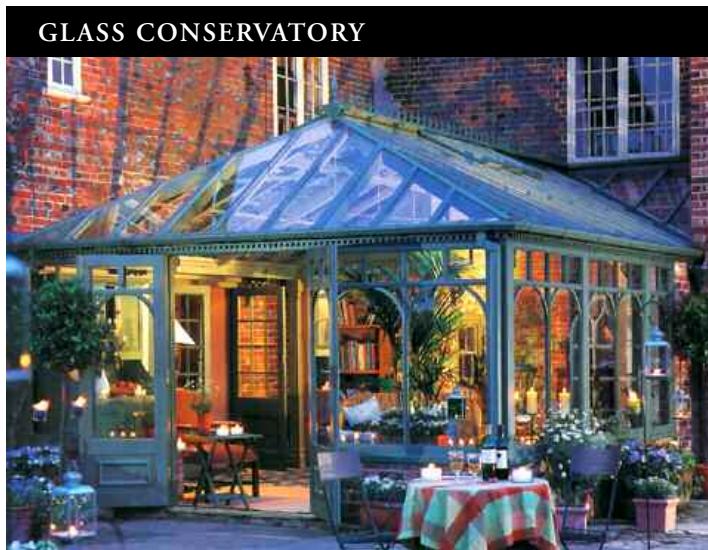
Tinted plastic and bubble skylights are not permitted.

Indoor and Outdoor Areas: Outdoor Rooms

Consider incorporating features which transition indoor living space to outside living space. Courtyards, terraces, decks, planted pergolas, landscaped or carefully paved courts and stepped patios at sloping sites are all delightful elements which offer and enhance the experience of outdoor living when incorporated into the whole composition.

Trellised patios are especially effective when climbing plants are encouraged to grow over their structure.

Protected landscaped or paved courtyards are also encouraged as these provide private transitional outdoor "room" spaces. Careful massing can provide wind protection for at-grade patios and courtyards.



Garages

Garages shall be designed and sited to be clearly ancillary to the principal dwelling. Creatively designed separated or semi-detached garages or coach-houses are preferred to fully attached garages in order to visually relieve the overall composition.

Designs whereby garages are positioned so that no garage door faces any access road are strongly encouraged—garage doors facing an access road will be permitted only in exceptional circumstances. The street facing side of the garage shall be fully articulated, and set apart from the principal building by a minimum of 1 m (3.28 ft).

A maximum of two garage doors is allowable in the same alignment. Any additional parallel garage doors shall be set back from the other garage doors by a minimum of 0.9 m (3 ft), or otherwise located in a side or rear alignment.

The design and finish of all garages, whether attached to or separated from the principal building, are to be fully compatible in

design and finish with the principal building. All garages are to be fully enclosed with either horizontal sliding or vertical rolling garage doors. The exterior finish of all garage doors shall be such that they readily appear to be of wood construction.

Garage door openings should not exceed 2.44 m (8 ft) in height, nor 3.05 m (10 ft) in width. Double car width garage doors are not permitted. However 2.75 m (9 ft) high garage doors will be permitted on fully detached garages that are carefully sited and shielded to conceal the garage door from neighbouring residences and any access road. All garage doors are required to have glazing located in the uppermost two feet of their height.

Driveways

Each lot will have only one driveway. This should be narrow until nearing the garage itself. To promote a natural look, straight runs should be avoided and topography utilized on sloped lots to provide a context and alignment for the driveway layout.

Driveway surfaces shall be in keeping with the design and materials selected for the buildings. Stone, brick, pre-cast concrete pavers, exposed aggregate and coloured concrete with a stamped or saw-cut geometrical pattern (not ornamental) are all acceptable materials. Asphalt driveways with an attractive "stamped" geometrical pattern (not ornamental) and a well-detailed masonry or concrete border will be permitted.

Paved driving courts, for visitor parking, can be a handsome feature when incorporated sensitively into the design of the site.

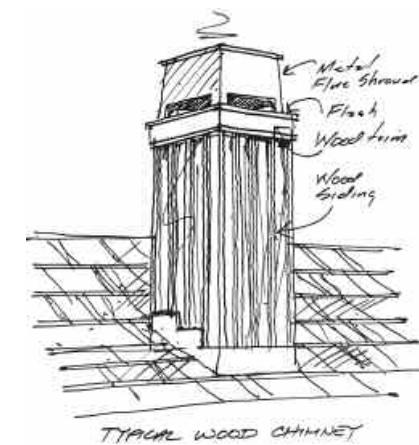
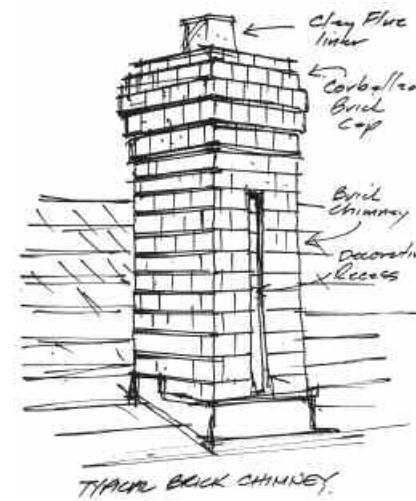
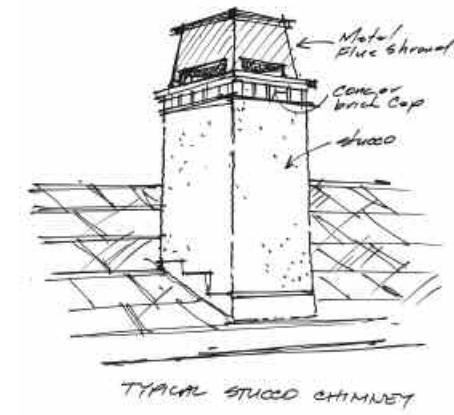
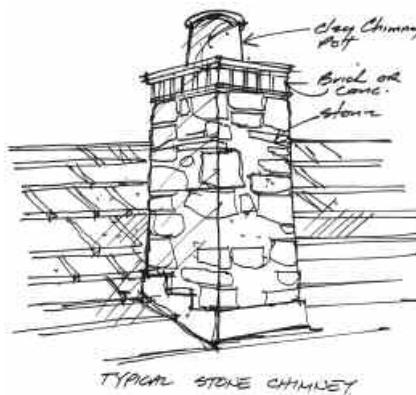


Chimneys

Chimneys should be of substantial proportion and should appear strong and stable. They, and their caps, may be innovatively detailed and specified, but shall be designed to be a part of the overall composition. Where chimneys are attached to, or form part of an exterior wall, they shall extend all the way to grade.

Chimneys for fireplaces or metal vents shall be finished in stone, brick or split faced concrete block. Wood clad chimneys are permitted provided that the design of the chimney enclosure, its detailing, proportions, cladding material and colours are compatible with the architectural form and exterior wall finishes and colours of the building itself. Metal, and unfinished concrete block chimneys are not allowable.

Direct vent fireplaces must not be visible to the street, and shall be screened and painted to blend as imperceptibly as possible into the surrounding exterior wall finish.



Wall Materials

When selecting materials for new homes at Swift Creek, the intention should be to create a sense of permanence and compatibility with the land. The use of locally available natural materials is strongly recommended.

Sandstone, river stone, rundle rock and limestone are all readily available around Calgary and have been traditionally used on many of the heritage homes in the area. Stonework applications and styles vary, but should be chosen to suit the particular architectural style of the home. Cut stone in courses and split faced stone in more random patterns are also acceptable.

Brick, in the earth tones common to Calgary, is acceptable as a wall facing, and well-considered stone and brick combinations can be attractive.

Masonry may also be utilized solely as an emphatic or key element (for example, for chimneys or principal entrances). When chosen as the principal wall material, masonry must be used at all elevations of the building.

Cultured stone and tile finishes are not permitted. Unfinished concrete block may not be used on exterior walls.

Wood finishes may be used for exterior walls. Wood siding, wall shingles, board and batten with timber trim, and horizontal siding are all acceptable finishes. Composite low-maintenance products used in these circumstances are also acceptable.

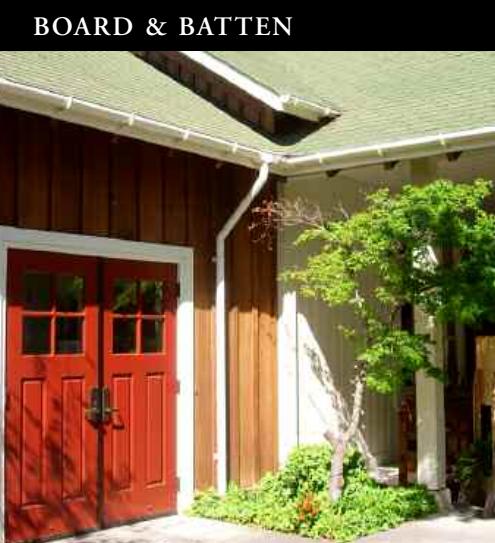
Wall finishes used on the street elevation must continue around the side and rear elevations, except for recessed, walk-out portions of basement level exterior walls.

Vinyl and aluminium siding is not allowed.

All exposed fascias are to be of wood or composite material.

Stucco (acrylic only) is permissible as a principal wall material but will be acceptable only if the design of the home is designed with a great deal of visual interest in its form and composition, incorporating other materials as emphatic elements and accented with detailed contrasting trim. Large areas of unbroken stucco will not be allowed, and compositional blandness caused by the selection of this material as a wall finish will not be acceptable.

Stucco will only be permitted as a smooth, sand finish, or small rock-dash outer surface. Swirled, patterned or other mannered stucco surface finishes are not permitted.



Roof Materials

The use of taper-sawn cedar shakes or cedar shingles is encouraged, as are slate or flat concrete tiles. 30-year heavy-weight architectural asphalt shingles are also permissible.

Roof finishes should complement other finishes selected and should be considered as a major textural, tonal and colour contrasting element.

The Design Coordinator, on a case-by-case basis, may approve the use of composite materials, including solid rubber roof tiles, provided they are not used on either adjacent house on the same street, that are designed to emulate natural materials.

Vinyl or aluminium versions are not permitted, nor are Mediterranean profiled tiles, clay tiles or their like.

Careful detailing of the underside of sloped soffits offers opportunities for delightful detailing such as rafter tails, together with contrasting colours and materials. Horizontal soffits are discouraged, and aluminium is not allowed in this location.

Windows

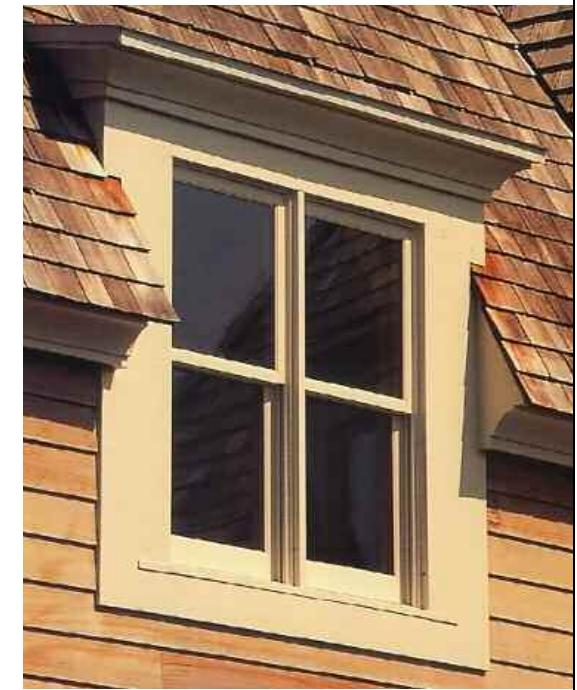
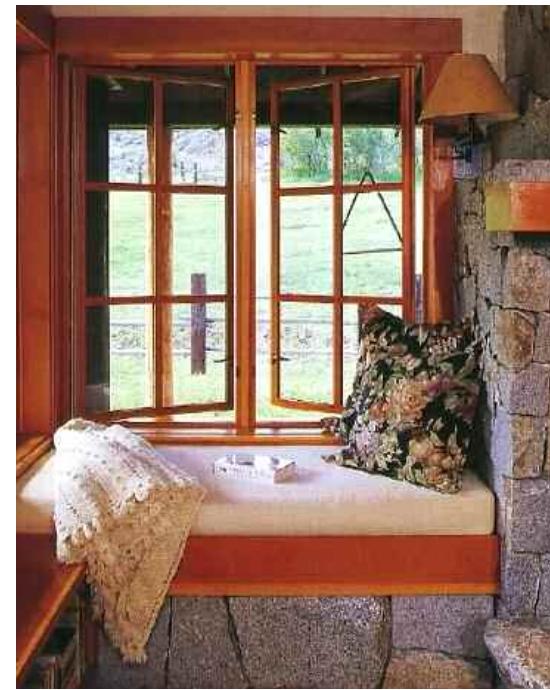
When placing windows, careful attention should be paid to their orientation as it relates to seasonal prevailing winds.

Multi-paned windows are encouraged. Where mullions are used they shall be used as true divided lights. Decorative grilles or dividers sandwiched between glass panes are not acceptable.

Large windows shall be designed to be compatible with the form and character of smaller, multi-paned windows.

All windows shall be wood, or large profile vinyl, with natural, aluminium or vinyl finish. All windows should be fully trimmed out with a minimum finished width of 90 mm (3.5 in), or brick mould. Such trim can be either of wood, or composite or other synthetic materials that are designed, constructed and finished to readily appear from a distance to be wood or masonry materials. An elastomeric-like, smooth sand acrylic coating finish to such composite synthetic material is acceptable.

Window shutters are permitted and appropriate to the Heritage Country styles of architecture. Where provided they shall be appropriate to the form and character of the principal building. They must appear to be functional and be proportioned to match the size of the windows.



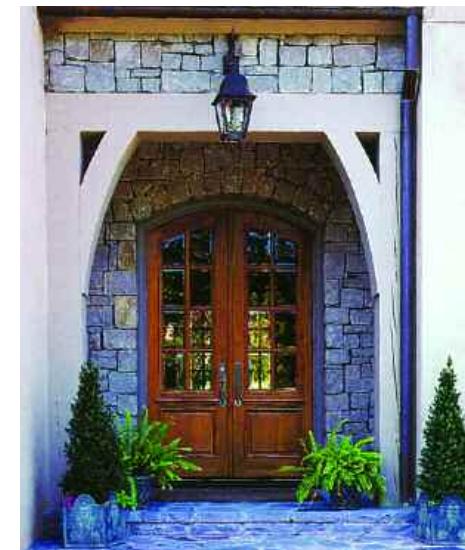
Doors

The exterior finish of all exterior, swinging (hinged) doors shall be such that they readily appear to be of wood construction. The Design Coordinator will carefully control any use of glazed lights incorporated within doors at principal entrances or feature doors, and will provide illustrations of appropriate examples.

Full height sidelights and full width transom lights at entry doors are encouraged, so as to provide daylight inside entry foyers.

Patio doors shall be double "French" doors where possible, but sliding glass doors are acceptable at less prominent locations.

Garage doors are a significant item in the composition, and care should be taken to specify doors that are visually attractive. Opportunities exist to incorporate attractive glass lights within the garage door. The exterior finish of all garage doors shall be such that they readily appear to be of wood construction. Non-articulated, flush panel overhead doors are not permitted.



Colours

A carefully defined colour palette is one of the main reasons classic communities feel so comfortable to live in. This unified appearance will be re-created by allowing a colour palette diverse enough to accommodate all styles and needs.

Colour schemes with a variety of colour compatible hues and contrasting shades are strongly encouraged at Swift Creek. Repetitive use of visually uninteresting, dull earth tones is discouraged. Contrast must be provided between the body of the house and its trim, and the roof colour. The deeper hues used as the primary colour of the house are encouraged, to provide richness and unity. Bright, primary, overly colourful, and washed-out colours are not acceptable. However, accent colour may be used judiciously to enhance entries or architectural details.

Exact duplication of house colours will not be permitted.

Flashings, vents, gutters and rainwater leaders shall be finished to exactly match the colour of the backing roof or wall surface.

Decks and Railings

Carefully integrated decks and balconies can enhance the design of the home, and provide ideal conditions for casual walk out space from upper floors. The location and design of these elements shall be carefully considered as part of the overall composition.

Railings should be predominantly glazed in appearance and handsomely detailed. Cheap continuous aluminium pickets and railings, and continuous all-glass (without railings) balustrades on decks above grade will not be allowed. However, the use of predominantly or entirely glazed windbreaks up to 1.2 m (4 ft) in height on at-grade patios is permitted.

Lighting

The rural environment of Swift Creek calls for outdoor lighting that is soft, subtle and glare-free. It is imperative that all lighting should cause low visual impact to both the street and neighbouring properties.

Lighting to highlight architectural elements or special vegetation should be used sparingly. To avoid light pollution, bright lighting and floodlights will not be allowed. Apart from soffit lights, which should be limited to entrances, exterior fixtures should not have a light-source directly visible from the street. Subtle garden and landscaping lighting is encouraged.

Garbage

All garbage cans shall be contained within a roofed, ventilated and fully screened enclosure that is designed as part of the overall home design. This shall be as visually unobtrusive as possible and may only be located as a part of the side or rear faces of the principal building/garage element, or as part of a storage area within a garage or an accessory building.

Meters, Panels and Accessories

Panels and meters must be clearly identified on the design drawings, and should be located in an enclosed space.

Solar panels of reasonable size and area may be allowed, but their acceptability will be subject to review by the Design Coordinator for location, and visual obtrusiveness.

Geothermal heating systems shall be allowed depending on the home design and construction methods. Perpendicular directional drilling is permitted, but trenching will be subject to review for each particular case.

Satellite dishes shall be limited in size to a maximum of 0.6m (2 ft) in diameter, and be positioned so that they are not visible from any street. Television, communications or radio aerials of any kind are not allowed.

site design

6

Grading and Drainage

Swift Creek has been engineered to maintain the form of the western prairie landscape and provide adequate drainage for each lot without the need for excessive grading or re-shaping. By means of careful design, all homes can be placed in such a way that the natural landscape can be maintained as much as possible.

Applicable municipal bylaws carefully restrict any extensive re-grading of building lots. Any attempt to artificially elevate the finished grade of a lot so as to raise the main floor level of a dwelling, and any extensive re-grading to create a flat site on the existing topography, will not be allowed.

Terraced decks, patios and courtyards can be designed to provide gracious changes of grade that work with the existing slopes.

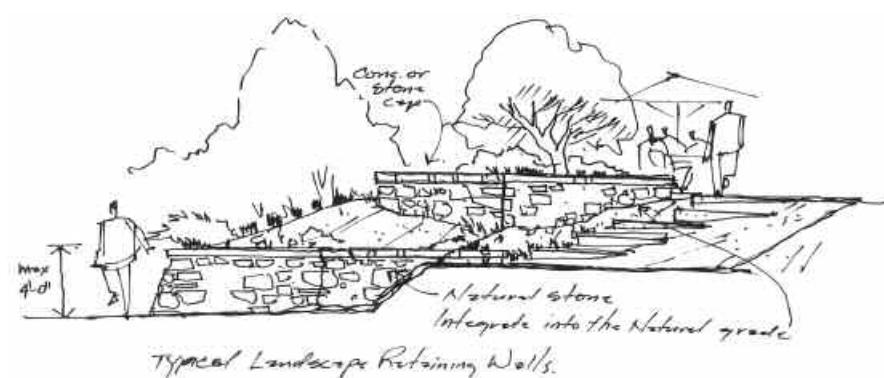
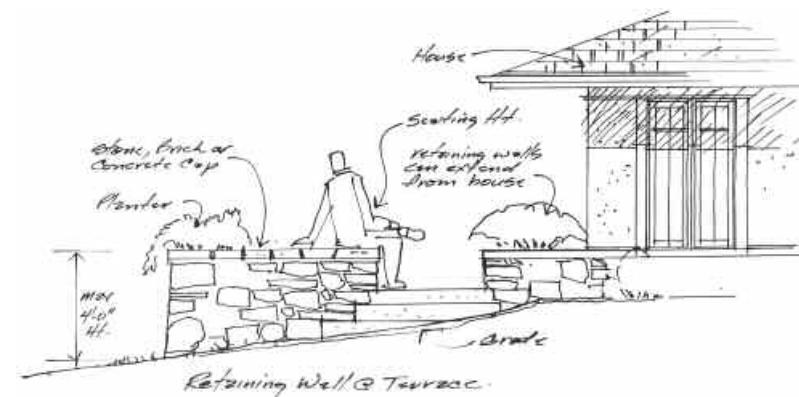
On sloped lots, innovative planning and slope-adaptive design can be used to create dynamic interior spaces and limit disturbance to the site. All grading must be in accordance with the storm water plan for the community. Where possible revised grading should divert runoff water to benefit existing vegetation and/or new plantings.

Retaining Walls and Planters

All retaining walls must be designed to complement the character of the home and become part of the overall architectural composition. All such walls shall be clad in masonry to match or complement the character of the principal buildings. Exposed, unclad concrete walls will not be permitted.

No retaining wall shall be greater than 1.2 m (4 ft) in height at any point above the adjoining grade. If possible by code, retaining walls should be set to a comfortable seating height at appropriate areas to encourage social interaction.

Integral planters can be incorporated as a part of retaining walls, and may be designed to be planted with trees, or decorative or trailing plants to soften the composition.



Plantings

The landscape design of each Swift Creek lot constitutes an important part of the overall attractiveness of the community. As a result, all owners must maintain a minimum standard of quality. The following guidelines are not intended to control personal expression or limit design in the development of yards. Designs will be reviewed for integrity, plant maturity and stylistic influences.

The landscape plan should incorporate very generous plantings of trees and shrubs, both coniferous and deciduous, in attractive groupings. Plantings designed in less conventional ways incorporating large rocks, small brick or rock walls, water features and exterior lighting are encouraged. Large expanses of lawn, uninterrupted by plantings, will not be acceptable. Shrub and tree species selected should generally be of native varieties.

All landscape plans should have the following minimum plant sizes. At least 50 percent of all shrubs and 50 percent of all trees should be coniferous varieties:

a) Shrubs. At least 50 percent should be a minimum size of 5 gallons, and at least a further 25 percent should be a minimum size of 3 gallons.

b) Coniferous Trees. At least 10 percent should be a minimum height of 4 m (13 ft), and at least a further 40 percent should be a minimum height of 3 m (10 ft).

c) Deciduous Trees. At least 10 percent should be a minimum caliper size of 7.5 cm (3 in), and at least a further 30 percent should be a minimum caliper size of 5 cm (2 in).

Trees, as well as any trellises, arbours or gazebos, must be

carefully located on each lot so as not to significantly restrict views of the Rocky Mountains from neighbouring homes.

Variances to these minimum planting requirements may be permitted by the Design Coordinator if plans incorporating very interesting and attractive design elements are proposed. Artificial features such as statuary and pre-cast ornaments are not permitted.

Yards must be well maintained by the owner at all times. Each owner's maintenance responsibility will also include the strip of vegetation lying between his/her property line and the asphalt edge of the roadway.

Accessory Buildings

Accessory buildings such as gazebos, carriage houses or garden sheds shall be designed to be part of the whole aggregation of building form and new landscape. They shall be sited to complement the overall garden composition, and will be subject to careful design review.

Stock aluminum sheds, garages and greenhouses will not be allowed.



Fencing

Fencing at or along property lines may be installed at the option of the owner. With careful use of planting, privacy may be achieved without fencing.

Masonry, wood or wrought iron fencing, tastefully designed, is allowable only for the first ten feet of the property line astride of driveway entrances. The incorporation of planting and tasteful, subtle lighting at entranceways is encouraged.

Each owner will be required to install beside his/her driveway at property line an entrance monument identifying his/her street address. For consistency across the community, the design of this entryway feature will be specified by the Design Coordinator. This requirement will be waived in the case of an owner constructing a more elaborate and attractive custom entry gate system.

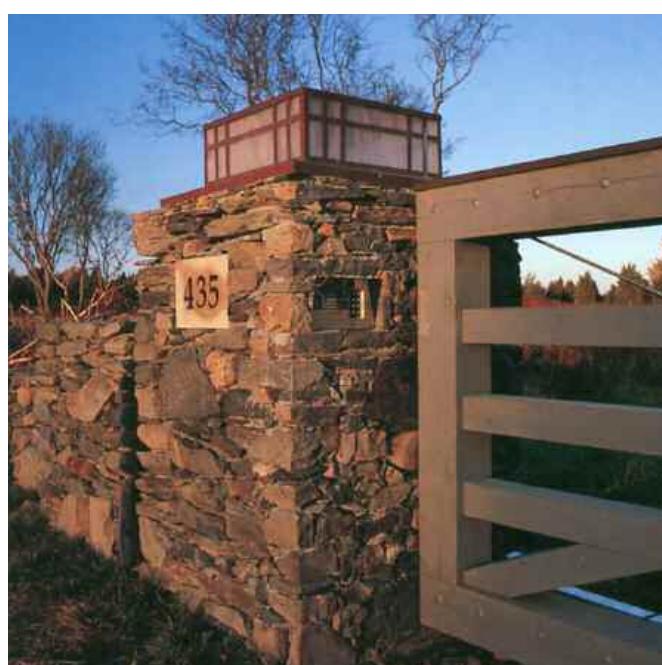
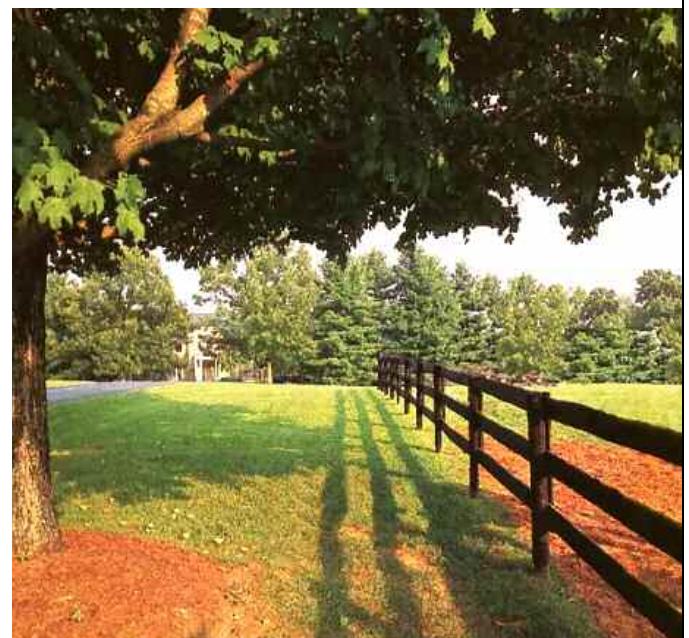
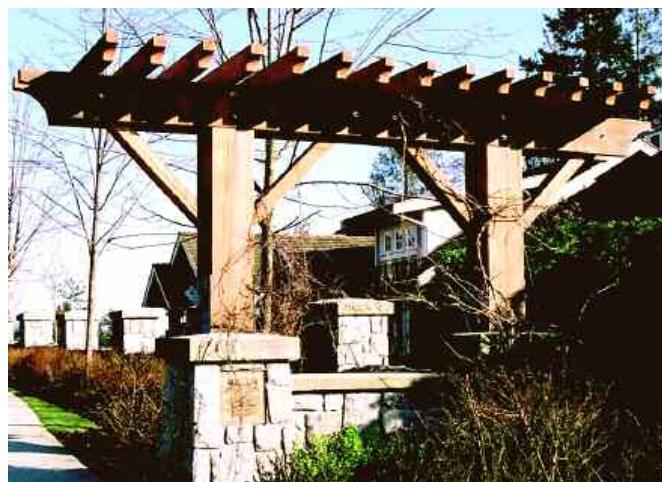
Privacy fencing may be created in rear yards only to a distance of 12 m (40 ft) from the rear wall of the home. Any privacy fencing shall not exceed 1.5m (5 ft) in height.

All other fencing shall be post-and-rail type. This shall be installed to lumber sizes, materials, height, rail and post, spacing, colour (black only) and finish strictly in accordance with the standard detail provided by the Design Coordinator. The maximum height of such fencing is 1.1 m (3.5 ft).

Chain link fencing is not allowable for any purpose other than enclosed dog-runs and tennis courts. Any dog runs shall be fully screened from view from adjacent properties using shrubbery and other planting. The posts, rails, fasteners and mesh of all chain link fencing shall be black.

Tennis courts are allowed, subject to careful review of siting, colour and materiality of enclosure. Visual incompatibility and noise intrusion to adjacent properties will be taken into account during the design review process.

Pools, spas and hot tubs and their enclosures must be carefully integrated into the overall design. They shall be screened by plantings where required by the Design Coordinator, and must possess safety railings and gates that meet the governing building code.



plan approval



Swift Creek's Design Coordinator will guide you through the design process. Our coordinator will work with you, your architect/designer and your builder through the conceptual, drawing and site inspection processes. You will receive a written outline from the Design Coordinator that will make the approval process clear, concise and easy to follow.

Upon completion of the design review process, the Design Coordinator will require a set of working drawings so as to make follow-up and site inspections.

A \$12,500.00 construction compliance bond will be required at the time the construction drawings are reviewed.

A \$12,500.00 landscape compliance bond will also be required at this time.

Upon sign-off approval from the Design Coordinator you can proceed to submit your completed drawings to the municipality for a building permit.

We look forward to working with you.

Sincerely,
The Swift Creek Development Team

SWIFT CREEK ESTATES
CALGARY 403-240-9746 SWIFTCREEKESTATES.COM